

UNDER THE AUTHORITY OF THE PLANNING ACT

NOTICE OF PUBLIC HEARING

On the date and at the time and location shown below, a **PUBLIC HEARING** will be held to receive representations from any persons who wish to make them in respect to the following matter:

**APPLICATION FOR VARIATION under the
Municipality of Bifrost-Riverton Zoning By-Law #04-2024.**

**HEARING
LOCATION:** Municipality of Bifrost-Riverton
Council Chambers
329 River Road
Arborg, MB

**DATE &
TIME:** September 11, 2025
9:15 am

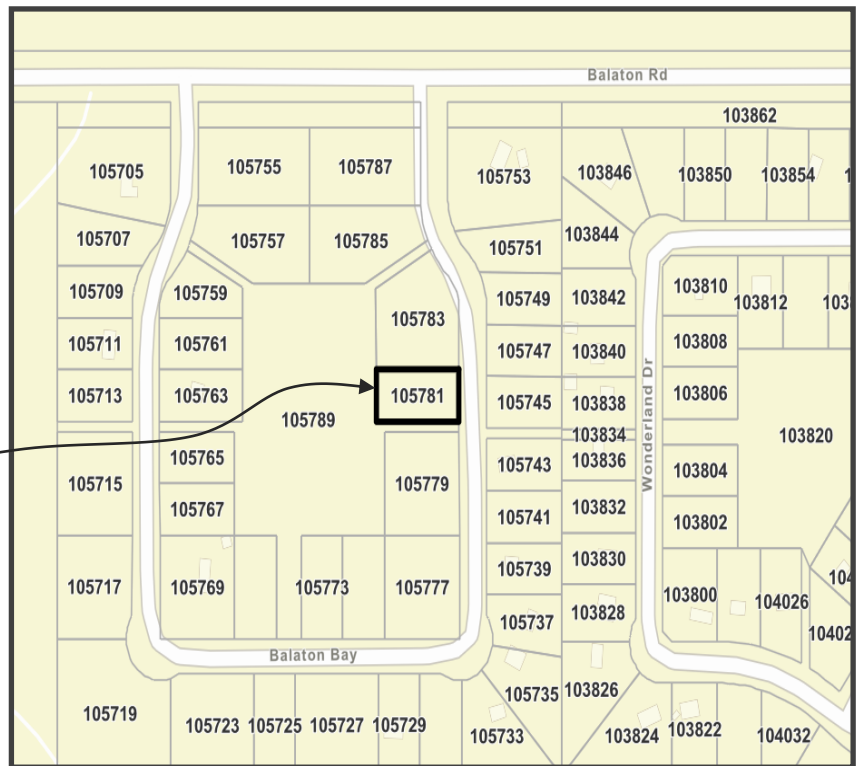
APPLICATION: MBR-25-20V

OWNER/APP: G. Moody

**AFFECTED
AREA:** Lot 14, Blk 2, PI 13197
Balaton Bay
Roll No. 105781

ZONE: "RCR" Recreation
Residential Zone

PROPOSAL: To reduce the minimum
required dwelling area
from 800 ft² to 608 ft²,
for the construction of
a new dwelling.



AMENDED TO: Create a legal site under the Zoning By-Law.

**FOR
INFORMATION
CONTACT:** Nancy Thom, CAO/Development Officer, Eastern Interlake Planning District
62 2nd Avenue, Box 1758 Gimli, MB R0C 1B0
Ph: 204-642-5478 Fax: 204-642-4061
Email: eipd@mymts.net Website: www.interlakeplanning.com

A copy of the circulation package may be provided/inspected at the location noted above during normal office hours, Monday to Friday; alternatively, a copy may be emailed upon request. Please note, if you have received this notice in the mail, it includes the circulation package.

E.I.P.D. recommends that property owner's notify lessee/renter if applicable.

CONDITIONAL USE and/or VARIANCE PROCESS

This is to notify you that an application has been made for a Conditional Use and/or Variance, which is a requirement of the Zoning By-Law, and governed by ***the Planning Act***.

THE FOLLOWING POINTS HIGHLIGHT THE PROCESS:

1. Notices are sent to property owners within 100 meters of the affected property, setting out what the applicant is proposing.
2. If you have comments, for or against the application, you may attend the hearing as set out in the notice; and/or.
3. Send a letter to the Eastern Interlake Planning District **attention to the Municipal Council** as follows:
 - Send by regular mail, hand delivery or by e-mail to the Eastern Interlake Planning District (contact information above in our letterhead).
 - All letters must contain your name(s) and civic address, for a fair portrayal of submissions. Note that submissions are deemed public documents and may be disclosed during the process.
 - Letters shall be received in our office **no later than 4:00 p.m.** the day before the hearing. Letters not meeting this minimum time will have to be submitted directly to Council at the hearing.

*Please note that **Council is not to be contacted for information** regarding this application. They should remain impartial until all information has been submitted and reviewed at the hearing.
4. Council shall then, after all considerations, approve or reject the application.
5. As per *the Planning Act* the decision of Council is final and is not subject to appeal.

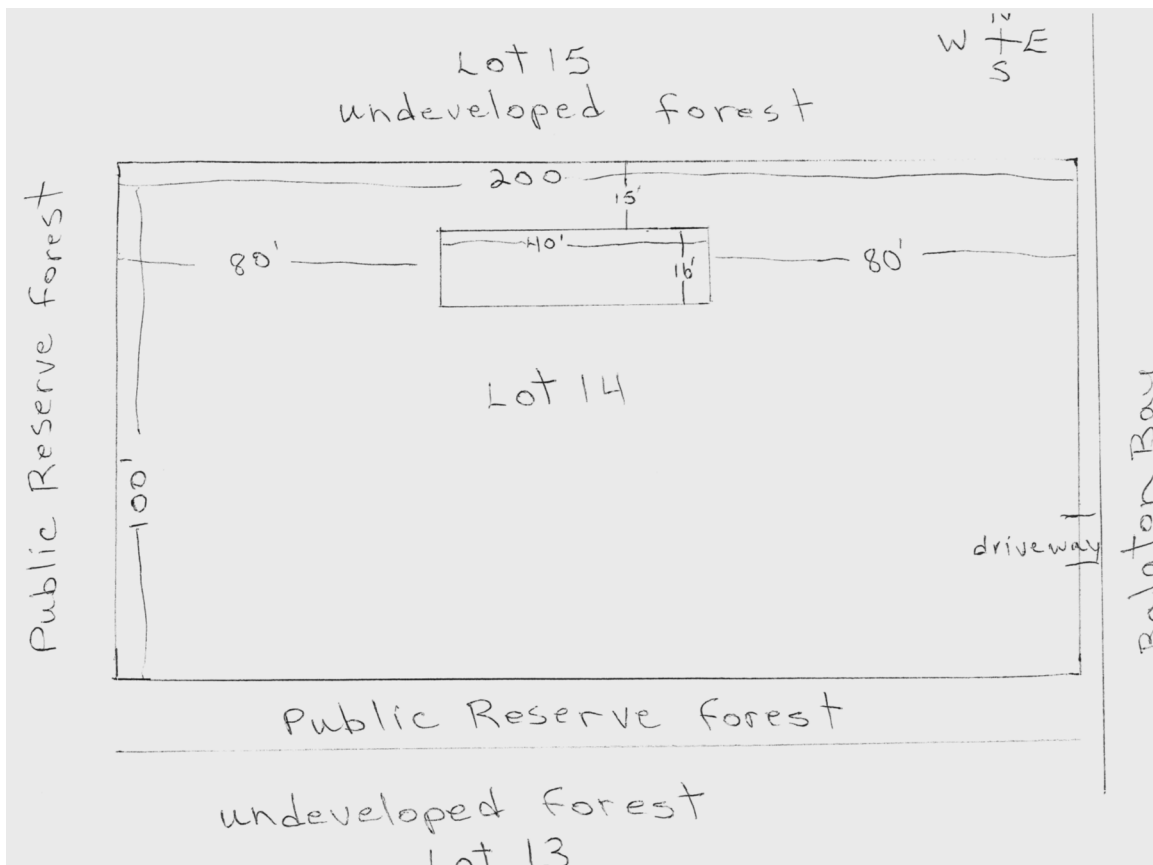
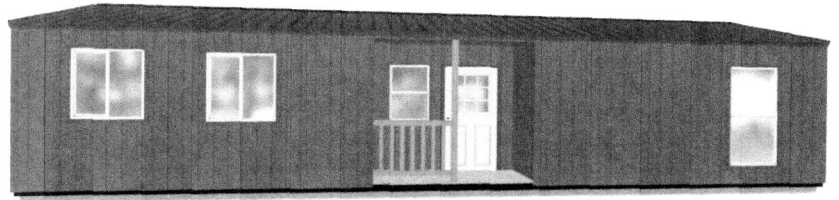
MUNICIPALITY OF BIFROST-RIVERTON

BY-LAW NO. 04-2024

Table 9-4: Dimensional Standards - Principal and Accessory Residential Buildings and Structures

Zone	Use Type	MINIMUM STANDARD							*MAXIMUM STANDARD	
		Lot Area (sq. ft.)	Site Width (ft.)	Front Yard (ft.)	Side Yard (ft.)	Corner Side Yard (ft.)	Rear Yard (ft.)	Dwelling Area (sq. ft.)	*Building Height (ft.)	*Lot Cov. (%)
MHP	Principal	2 ac	200	25	5	10	25	-	30	40
	Accessory	-	-	25	2	10	5	-	20	15
RCR	Residential	8,000	75	25	10	15	25	800	30	60
	All other uses	10,000	100	30	15	15	25	-	30	60
	Accessory	-	-	25	5	10	10	-	20	15
RM	Principal	8,000	70	25	10	15	25	480	45	60
	Accessory	-	-	25	2	10	5	-	20	15
UR	Single-Unit Dwelling	5,000	50	25	5	10	25	800	30	40
	Two-Unit Dwelling	5,000	50	25	5	10	25	600	30	60
	Accessory	-	-	25	2	10	5	-	20	15

Applicant's Proposal



Request a variance to establish a 3 season cottage of 608 square feet enclosed space and 32 square feet open entrance area equaling 640 square feet. Due to hydro cost, cottage will be established as an off grid facility using alternate power sources.

Manitoba Hydro

- Cost to locate services to the property line have been quoted at \$20,958.00 (Reference attached Manitoba Hydro contract)
- We the property owner, are responsible for removal of trees to provide Manitoba Hydro access for the hydro line installation. This clearing to be 10 meters (32 ft.) wide; 5 meters (16 ft.) wide on public reserve land and 5 meters (16 ft.) encroaching onto individual properties for a length of 93 meters (305 ft.). Logistic of accomplishing this would require extensive cost and our life cycle time.

Development opportunity

- As noted in colored attachment multiple properties are owned by the same people. As such, many properties are not being or being planned for development. This has resulted in development stagnation for many years on Balaton Bay.
- No development has occurred along this side of Balaton Bay since area being established.
- Our development may open the door for further development opportunities on Balaton Bay.

Area

- Proposed cottage location within the property will be minimally visible from the public view due to heavy forested frontal coverage.
- Several properties within the Bay appear to have "grandfather" rights allowing for alternate property use opportunities.
- Part of Balaton Bay has been "compounded" reducing visual impact of the area and value.
- Other properties within the community have cottages less than the current square foot size requirement.

Personal needs.

- Only two of us, need for larger cottage is not needed.
- Primary Winnipeg residence is 884 square feet. Having a bigger cottage than primary residence, life has proven as not needed.
- Older folks just looking to fill in our latter years.
- A large long term cottage build project is not our goal. Gardening is!
- Planned cabin would be equal to a single bedroom apartment.

C=LOTS WITH COTTAGE w
COLORS = MULTIPAL LOT OWNERS.

RD 132

